



Village of Villa Park

Permitting Division

11 W. Home Avenue Villa Park, IL. 60181

P: 630-834-8505 Fax: 630-834-8509

Email: permits@invillapark.com

GARAGES

PERMIT APPLICATION

The Village of Villa Park requires a permit prior to beginning any construction.

To obtain a permit, the following is required:

- Completed Permit Application.
- 2 copies of the Current Plat of Survey that identify all utility lines, over and underground
- 2 copies of Proposed Site Plan showing the building footprint and all setbacks with all dimensions to scale (shown on Plat). In addition, for a new garage, identify all accessory structures within ten (10) feet.
- 2 Sets of Construction Plans with Structural Elevations - A detailed cross-section showing all structural members with material size and type (See Appendix A for an example).
- If the height of the proposed garage exceeds 15 feet, provide evidence of the height of the principal structure (i.e. a picture)
- 2 sets of Garage Topography (elevations) – (See Appendix B for an example) showing existing and proposed ground elevations at all four corners of the proposed structure.
- Any and all extensive grading around the perimeter of the structure shall be identified.
- All drainage (i.e., downspouts) are to be identified and directed onto homeowner's property, and shall not discharge to any adjacent property.
- Fill permit
- Indicate if there will be a demolition of old garage.
- Indicate if there will be a new driveway/approach or driveway extension added. This must be done at the same time as building the garage.

Call JULIE (Joint Utility Locating Information for Excavators) at 1-800-892-0123 or 811 allowing 48 hours to locate utilities.

INSPECTIONS REQUIRED

Call Permitting Div 630-834-8505 – minimum 24 hour notice

A footing/wall Inspection is required prior to pouring concrete.

Rough-In framing & Electrical inspections are required

A final inspection when all work is completed (including driveway).

ZONING CODE REQUIREMENTS

Carpports are prohibited.

- Only one (1) garage is allowed per zoning lot.
- A garage shall not be capable of storing in excess of three (3) vehicles. In no event shall any garage exceed a maximum of eight hundred sixty-four (864) sf exterior dimension.
- The height shall not exceed one (1) story or the height of the principal building on the lot, whichever is less, but in no case shall the height of the garage exceed twenty-one (21) feet as measured from the garage floor to the top of the highest structural member.
- The height of the garage door shall not exceed eight (8) ft
- Garage area must not exceed seventy-five (75) percent of the foundation area of the principal building. However, a minimum garage size of five hundred thirty (530) square feet exterior dimension shall be permitted regardless of the size of the principal structure.
- Maximum lot coverage of the area of all structures shall not exceed 30% of the lot area.
- The total of all impervious surfaces, including driveways, shall not exceed fifty (50) per cent of the lot area of the premises. However, for those lots less than seven thousand five hundred (7,500) square feet, the total of all impervious surfaces shall not exceed fifty-six (56) percent of the lot area of the premises.
- All garages are to be constructed with eaves, gutters and downspouts which shall not discharge to any adjacent properties. The eaves, gutters and downspouts are allowed to encroach no more than two (2) feet into the setback.

DETACHED GARAGES

Detached Garages shall be located:

- Within the required yards where it is allowed as a permitted yard encroachment.
- A minimum of five (5) feet from the foundation to a side or rear lot line, provided the side or rear lot line does not abut the front or side yard of any adjacent lot. If so, the detached garage shall be located ten (10) feet from the foundation to the side or rear lot line.
- A minimum of five (5) feet away from the principal structure, or physically attached to the principal structure. If attached, the garage shall meet the principal structure regulations.
- Outside of any utility easement.

ATTACHED GARAGES

Anti-Monotony Standards: Generally, no two (2) single-family dwellings of similar front elevation shall be constructed or located on adjacent lots. To encourage architectural and visual diversity, one of the standards used to evaluate front elevations changes will be garage layout (attached vs. detached or front loading vs. side loading).

The length of the garage wall facing the street shall not exceed fifty (50) percent of the length of the street-facing building facade containing the primary entrance. See Illustration A.

*Exception: For lots that are less than sixty (60) feet wide, the garage wall facing the street shall not exceed twenty-one (21) feet in length. See Illustration B.

A garage wall that faces a street shall be no closer to the street lot line than the longest street-facing wall of the dwelling unit and shall meet the minimum required setback. See Illustration C.* Where a lot has more than one street lot line, this standard must be met only on the street-facing facade on which the main entrance is located.

*Exception A: A street-facing garage wall may be up to six (6) feet in front of the longest street-facing wall of the dwelling unit, if:

- i. There is a porch at the main entrance; and
- ii. The street-facing garage wall must meet the minimum required front yard setback.

*Exception B: For a side-loaded garage, the street facing garage wall may extend more than (6) feet in front of the longest street-facing wall of the dwelling unit, if:

(i.) The street facing garage wall and the garage wall opposite the garage entrance is designed in a manner to avoid the appearance of blank walls facing the street, these walls should be designed with elements typical of a front façade, including doors and/or windows and other architectural articulation.

(ii.) Large, flat facades should be avoided by articulating the building mass to create substantial shadows and visual interest. Windows, dormers, projected entrances and overhangs are encouraged on the street facing façade to add variety and maintain a pedestrian-scale.

All attached garages shall meet the bulk regulations for the principal structure

STANDARDS FOR DUPLEX AND MULTI-FAMILY GARAGES

For **All** Duplex & Multi-Family Garages, whether Attached or Detached no more than 2 cars per dwelling unit shall be housed with a maximum area of 528 square feet per dwelling unit.

ATTACHED GARAGES IN R-3 DUPLEX DISTRICT

ZONING CODE REQUIREMENTS

The length of the garage wall facing the street shall not exceed fifty (50) percent of the length of the street-facing building facade containing the primary entrance. For duplexes this standard applies to the street facing facades of each unit. See Illustration A.

***Exception:** For lots that are less than sixty (60) feet wide, the garage wall facing the street shall not exceed twenty-one (21) feet in length. See Illustration B.

A garage wall that faces a street shall be no closer to the street lot line than the longest street-facing wall of the dwelling unit and shall meet the minimum required setback. See Illustration C.* Where a lot has more than one street lot line, this standard must be met only on the street-facing facade on which the main entrance is located.

***Exception:** A street-facing garage wall may be up to six (6) feet in front of the longest street-facing wall of the dwelling unit, if:

- i. There is a porch at the main entrance; and
- ii. The street-facing garage wall must meet the minimum required front yard setback.

Illustration A
Length of Street-Facing Garage Wall

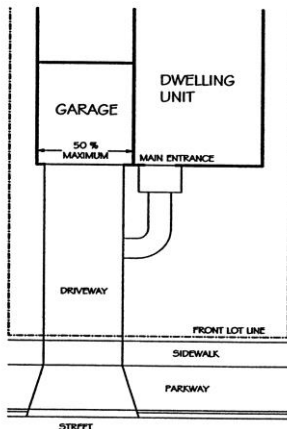


Illustration B
Length of Street-Facing Garage Wall Exception

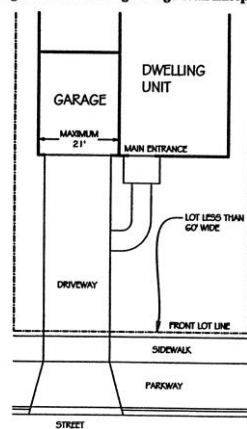
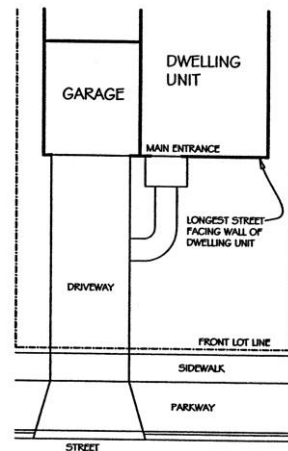


Illustration C
Street Lot Line Setback



BUILDING CODE REQUIREMENTS

Concrete Slab All sod and vegetation shall be removed, a grade beam twelve (12) inches wide, twelve (12) inches below existing grade, and six (6) inches about shall be poured monolithically with a five (5) inch floor using approved reinforcing over four (4) inch stone fill. Trench shall be dug down to mineral soil or as prescribed by the inspector. If you intend to use an existing slab, the grade beam must be verified and approved by the inspector.

One-Story Frame DETACHED GARAGE with NO Second Floor or Storage Above will be allowed to use a monolithic footing.

A spread footing or stem wall footing shall be required for garages with a second floor or storage above.

2" by 4" pressure treated sill bolted to slab, bolted with nuts and washers applied every four (4) feet.

Maximum spacing twenty-four (24) inches on center on all stud walls.

Corner post made up of three (3) 2" x 4" or three (3) 2" x 6" studs.

Top plates to be doubled with splices over studs and plates at corners lapped to provide ties.

2" x 6" rafters not more than twenty-four (24") on center, 2" x 8" at ridge and hips

Rafter ties at eaves not less than 2" x 6", maximum spacing four (4) feet on center.

Roof sheathing shall be a minimum of ½ inch exterior glue CDX grade plywood.

Interior wall sheathing (if applicable) shall be a minimum of ½ gypsum.

1" x 4" sway bracing applied at all corners or 4' x 8' sheet CDX grade plywood with exterior glue.

Composition shingles: a minimum of 235 pounds laid over fifteen (15) pound felt.

Overhead door headers: nine (9) feet opening- two (2) 2" x 8", 16 feet opening two (2) 2" x 12".

3' X 3' concrete slab shall be provided at all service doors.

Masonry garage: shall comply with requirements of masonry construction.

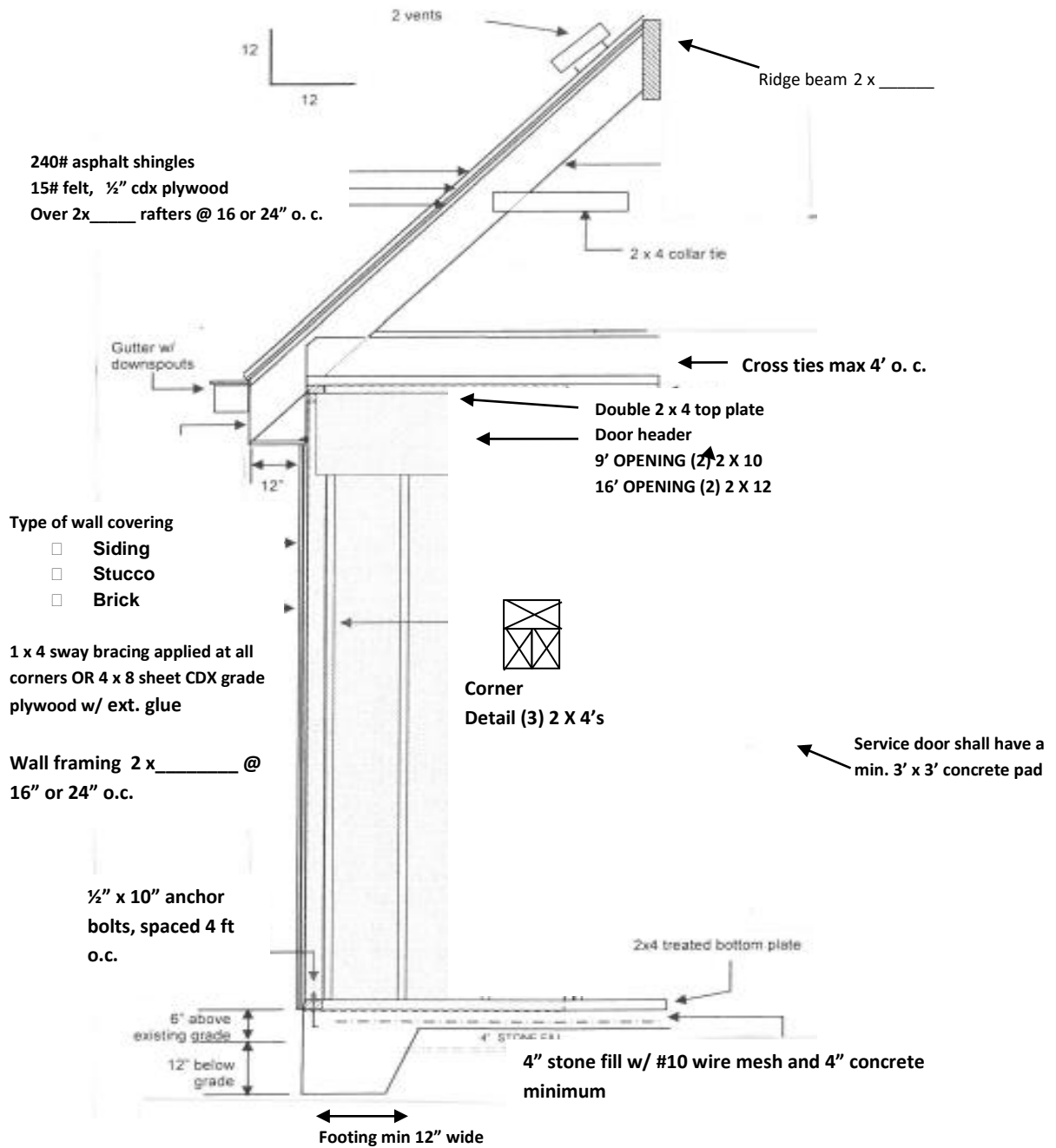
Floor drains or bathrooms are not permitted in residential garages.

ELECTRICAL STATEMENT:

The electrical installations and clearances of electrical service drops (overhead) and laterals (underground) related to these structures shall comply with all applicable articles in the 2014 NEC and all local amendments.

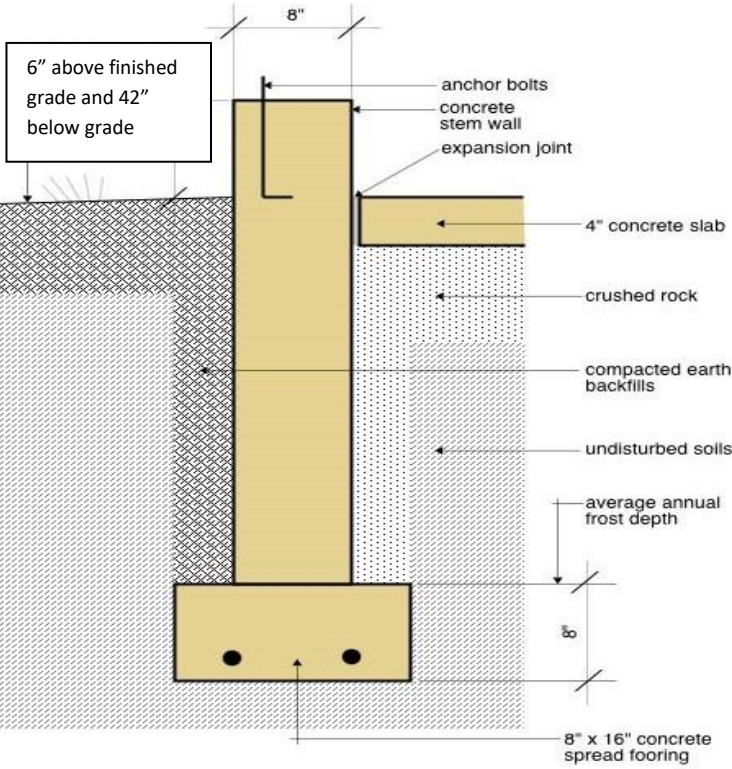
1. Vertical clearances of service drop conductors shall be maintained for a distance of not less than 3' in all directions from the roof edge.
2. Provide a main disconnect, a light on a switch at the service door, and a minimum of one (1) accessible 20 amp GFCI outlet. (All accessible outlets shall be GFCI protected).

1 STORY DETACHED GARAGE



THE EXTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE BRACED AT EACH END OF CORNERS AND EVERY 25' MAX. WHERE BRACING LET-IN CANNOT BE UTILIZED DUE TO OPENINGS, PROVIDE MINIMUM 1/2" PLYWOOD SHEATHING FROM THE CORNER TO 4' BEYOND THE WALL OPENING OR THE NEXT CORNER

DETACHED GARAGE W/ STORAGE OR 2ND LEVEL



GARAGE ELECTRIC

