



# Village of Villa Park

Community Development Department

20 S. Ardmore Avenue Villa Park, IL 60181

(630) 592-6072

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## PUBLIC SIDEWALKS, DRIVEWAY APPROACHES, & CURBS

### **NOTE:**

These permits should be obtained from the Public Works Dept. If any *private* side driveway is included then the permit is issued by the Community Development Dept.

### **PERMIT APPLICATION**

The Village of Villa Park requires a permit prior to beginning any construction.

To obtain a permit, the following is required:

- Completed Highway Permit Application
- Contractors must obtain a Village license from the Community Development Department.
- All other contractors must register with the Community Development Department and post a certificate of insurance with the Village of Villa Park as the certificate holder and additional insured
- If approach is brick a covenant regarding driveway and apron responsibility is to be filled out

Call JULIE (Joint Utility Locating Information for Excavators) at 1-800-892-0123 allowing 48 hours to locate utilities.

### **INSPECTIONS REQUIRED**

One inspection prior to placement of concrete or asphalt

Final Inspection when work is completed prior to release of bond

### **GENERAL REQUIREMENTS**

All concrete shall be at least a 6-bag mix. Slump shall be no greater than 4" and no less than 2".

### **PUBLIC WALK REQUIREMENTS**

All sidewalks shall meet existing widths with a minimum thickness of 4" except at any existing or proposed driveway(s) the thickness shall be 6".

Bedding shall be a minimum of 4" of CA-6/Grade 8 mechanically compacted stone.

All pavements shall be replaced within one week of their removal.

All parkways disturbed during construction shall be restored with 4" of topsoil and sod.

Recommended for commercial and industrial: 8" minimum concrete, 4" minimum mechanically compacted stone

**Note: Public Works requires a cash bond to be posted prior to issuing permit.**

### **DRIVEWAY APPROACH REQUIREMENTS**

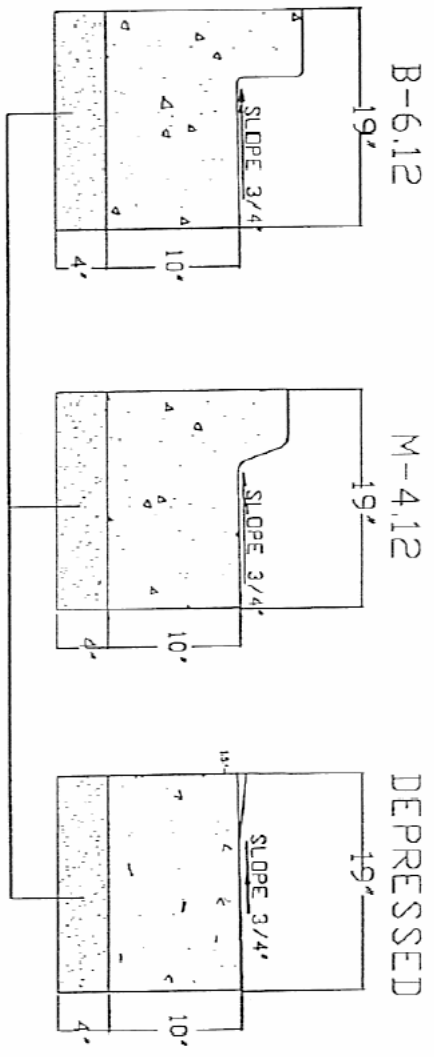
Asphalt – minimum 6" mechanically compacted stone plus 2-1/2" of Class I surface hot mix (recommend 8" compacted stone)

Concrete – minimum 4" mechanically compacted stone plus 6" P.C.C.

Recommended for commercial and industrial: 4" minimum mechanically compacted stone plus 8" P.C.C. – 8" minimum mechanically compacted stone plus 4" asphalt

### **CURB AND GUTTER REQUIREMENTS**

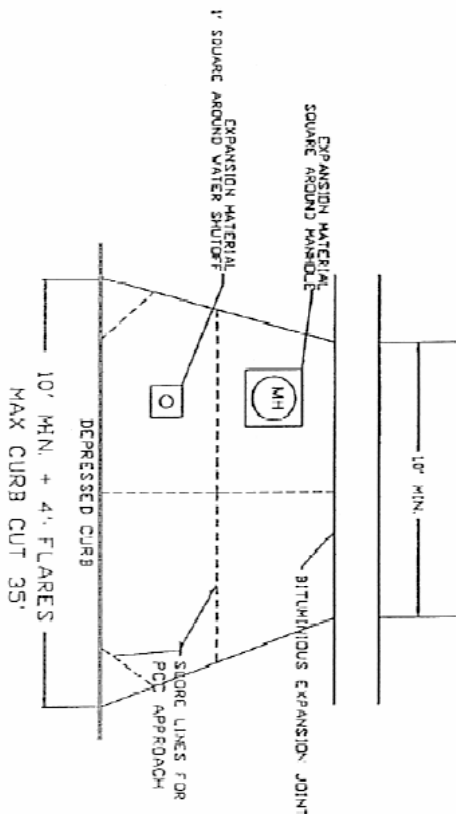
If approach is to be widened, 25' maximum at curb, curb and gutter shall be removed and replaced with depressed curb and gutter to a minimum depth of 10" of concrete with 4" of mechanically compacted stone building.



NOTE: CONTRACTION JOINTS SHALL BE PLACED BETWEEN EXPANSION JOINTS AT 15' INTERVALS. EXPANSION JOINTS ARE TO BE PLACED AT 60' INTERVALS. 2- #6 X 18' REBARS TO BE PLACED AT ALL EXPANSION JOINTS

TYPICAL PORTLAND CEMENT CONCRETE  
COMBINATING CURB AND GUTTER DETAIL

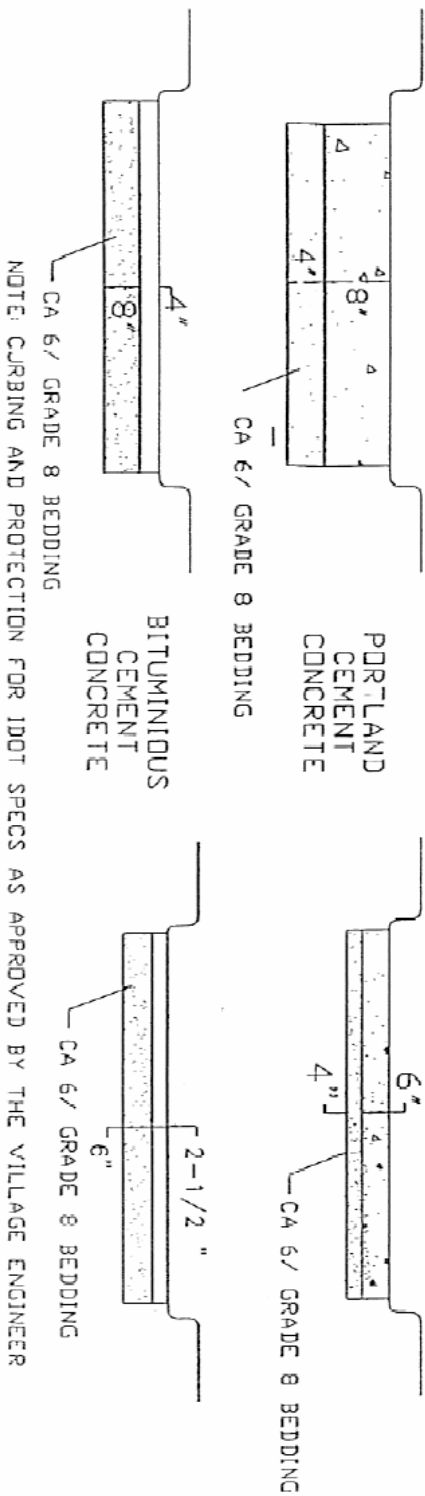
PLAN



COMMERCIAL

PROFILE

RESIDENTIAL



TYPICAL DRIVEWAY APPROACH