



Village of Villa Park

Community Development Department

20 S. Ardmore Avenue Villa Park, IL 60181

(630) 592-6072

GARAGES

PERMIT APPLICATION

The Village of Villa Park requires a permit prior to beginning any construction.

To obtain a permit, the following is required:

- Completed Permit Application
- Plan Review Fee
- 2 copies of the Current Plat of Survey that identify all utility lines, over and underground
- 2 copies of Proposed Site Plan showing bldg footprint and all setbacks with all dimensions to scale (shown on Plat). In addition, for a new garage, identify all accessory structures within ten (10) feet.
- 2 Sets of Construction Plans
- 2 sets of Structural Elevations - A detailed cross-section showing all structural members with material size and type (See Appendix A for an example)
- If the height of the proposed garage exceeds 15 feet, provide evidence of the height of the principal structure (i.e. a picture)
- 2 sets of Garage Topography (elevations) – (See Appendix B for an example) showing existing and proposed ground elevations at all four corners of the proposed structure
- Any and all extensive grading around the parameter of the structure shall be identified
- All drainage (i.e., downspouts) is to be identified and directed onto homeowner's property, and not towards a neighbor's property.

(Any questions, please contact Public Works at 630-834-8505)

- Fill Construction Agreement
- Indicate if there will be a demolition of old garage
- Indicate if there will be a new driveway/approach or driveway extension added. This must be done at the same time as building garage.
- Contractor's Bond, Insurance and Licensing form and documents

Call JULIE (Joint Utility Locating Information for Excavators) at 1-800-892-0123 allowing 48 hours to locate utilities.

INSPECTIONS REQUIRED

Footing Inspection is required prior to concrete being poured

Rough-In framing & Electrical inspections are required before installing drywall, when applicable

Final Inspection when work is completed

To schedule an inspection, call the Community Development Department at 630-592-6072. It is the responsibility of the homeowner/contractor to schedule all required inspections with the building department. Required inspections are indicated on your building permit. When calling to schedule an inspection, please have the address & permit number. Inspections shall be scheduled 24 hours before they become due.

Plan Review Valuations: Fee:			
\$50	to	\$5,000	\$20.00
\$5,001	to	\$25,000	\$35.00
\$25,001	to	\$50,000	\$65.00
\$50,001	to	\$75,000	\$75.00
\$75,001	to	\$100,000	\$85.00
\$100,001	to	\$200,000	\$140.00
\$200,001	to	\$300,000	\$260.00
\$300,001	to	\$500,000	\$330.00
\$500,001	and up		\$330.00 plus \$1.75 per 1000

ATTACHED GARAGES

ZONING CODE REQUIREMENTS

Only one (1) garage is allowed per zoning lot.

No garage larger than a three (3) car garage is permitted.

Height of garage door shall not exceed eight (8) ft.

Carports are prohibited.

Size Requirements:

1. No garage may be larger than eight hundred sixty-four (864) sq. ft. exterior dimension.
2. Garage area must not exceed seventy-five (75) percent of the foundation area of the principal building. However, a minimum garage size of five hundred thirty (530) square feet exterior dimension shall be permitted regardless of the size of the principal structure.
3. Maximum lot coverage of the area of all structures shall not exceed 30% of the lot area.
4. The total of all impervious surfaces, including driveways, shall not exceed fifty (50) percent of the lot area of the premises. However, for those lots less than seven thousand five hundred (7,500) square feet, the total of all impervious surfaces shall not exceed fifty-six (56) percent of the lot area of the premises.

Anti-Monotony Standards: Generally, no two (2) single-family dwellings of similar front elevation shall be constructed or located on adjacent lots. To encourage architectural and visual diversity, one of the standards used to evaluate front elevations changes will be garage layout (attached vs. detached or front loading vs. side loading).

The length of the garage wall facing the street shall not exceed fifty (50) percent of the length of the street-facing building facade containing the primary entrance. See Illustration A.

*Exception: For lots that are less than sixty (60) feet wide, the garage wall facing the street shall not exceed twenty-one (21) feet in length. See Illustration B.

A garage wall that faces a street shall be no closer to the street lot line than the longest street-facing wall of the dwelling unit and shall meet the minimum required setback. See Illustration C.* Where a lot has more than one street lot line, this standard must be met only on the street-facing facade on which the main entrance is located.

*Exception A: A street-facing garage wall may be up to six (6) feet in front of the longest street-facing wall of the dwelling unit, if:

- i. There is a porch at the main entrance; and
- ii. The street-facing garage wall must meet the minimum required front yard setback.

*Exception B: For a side-loaded garage, the street facing garage wall may extend more than (6) feet in front of the longest street-facing wall of the dwelling unit, if:

(i.) The street facing garage wall and the garage wall opposite the garage entrance is designed in a manner to avoid the appearance of blank walls facing the street, these walls should be designed with elements typical of a front façade, including doors and/or windows and other architectural articulation.

(ii.) Large, flat facades should be avoided by articulating the building mass to create substantial shadows and visual interest. Windows, dormers, projected entrances and overhangs are encouraged on the street facing façade to add variety and maintain a pedestrian-scale.

All attached garages shall meet the bulk regulations for the principal structure

Illustration A
Length of Street-Facing Garage Wall

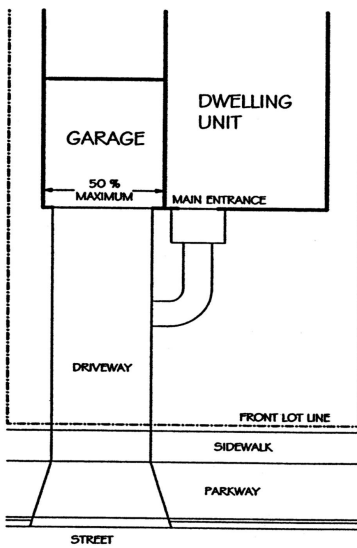


Illustration B
Length of Street-Facing Garage Wall Exception

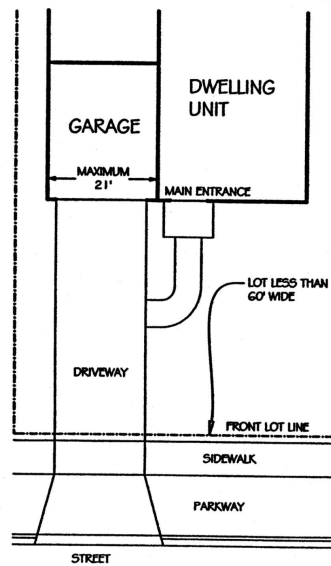
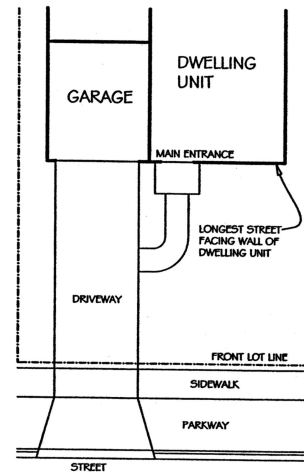


Illustration C
Street Lot Line Setback



DETACHED GARAGES

ZONING CODE REQUIREMENTS

Only one (1) garage is allowed per zoning lot.

Height of garage door shall not exceed eight (8) ft.

The height shall not exceed one (1) story or the height of the principal building on the lot, whichever is less, but in no case shall the height of the garage exceed twenty-one (21) feet as measured from the garage floor to the top of the highest structural member.

Carports are prohibited.

Size Requirements:

1. A garage shall not be capable of storing in excess of three (3) vehicles. In no event shall any attached or detached garage exceed a maximum of eight hundred sixty-four (864) sq. ft. exterior dimension.
2. Garage area must not exceed seventy-five (75) percent of the foundation area of the principal building. However, a minimum garage size of five hundred thirty (530) square feet exterior dimension shall be permitted regardless of the size of the principal structure.
3. Maximum lot coverage of the area of all structures shall not exceed 30% of the lot area.
4. The total of all impervious surfaces, including driveways, shall not exceed fifty (50) percent of the lot area of the premises. However, for those lots less than seven thousand five hundred (7,500) square feet, the total of all impervious surfaces shall not exceed fifty-six (56) percent of the lot area of the premises.

All garages are to be constructed with eaves, gutters and downspouts which are directed away from adjacent properties. The eaves, gutters and downspouts are allowed to encroach no more than two (2) feet into the setback.

Detached Garages shall be located:

- Within the required yards where it is allowed as a permitted yard encroachment.
- A minimum of five (5) feet from the foundation to a side or rear lot line, provided the side or rear lot line does not abut the front or side yard of any adjacent lot. If so, the detached garage shall be located ten (10) feet from the foundation to the side or rear lot line.
- A minimum of ten (10) feet away from the principal structure, or physically attached to the principal structure. If attached, the garage shall meet the principal structure regulations.
- Outside of any utility easement.

BUILDING CODE REQUIREMENTS

Concrete Slab All sod and vegetation shall be removed, a grade beam 8 inches wide, 12 inches below existing grade, and 6 inches about shall be poured monolithically with a 4 inch floor using approved wire mesh over 4 inch stone fill. Trench shall be dug down to mineral soil or as prescribed by the inspector. If you intend to use an existing slab, grade beam must be verified and approved by the inspector

2" by 4" pressure sill bolted to slab, bolted with nuts and washers applied every 4 feet.

Maximum spacing 24 inches on center on all stud walls

Corner post made up of three 2" x 4"

Top plates to be doubled with splices over studs and plates at corners lapped to provide ties.

2" x 6" rafters not more than 24" on center, 2" x 8" at ridge and hips

Rafter ties at eaves not less than 2" x 6", maximum spacing 4 feet on center.

Roof sheathing shall be minimum of ½ inch exterior glue CDX grade.

Interior wall sheathing shall be a minimum of ½ gypsum.

1" x 4" sway bracing applied at all corners or 4 x 8 sheet CDX grade with exterior glue.

Composition shingles: a minimum of 235 pounds laid over 15 pound felt.

Overhead door headers: 9 feet opening two 2" x 8", 16 feet opening two 2" x 12".

3 X 3 concrete slab shall be provided at all service doors.

Masonry garage: to comply with requirements of masonry construction.

Floor drains are not permitted in residential garages.

ELECTRICAL STATEMENT:

The electrical installations related to these structures shall comply with all applicable articles in the 1999 NEC and all local amendments.

Clearances of electrical service drops (overhead) and laterals (underground) shall comply with the following articles from the 1999 NEC: 230-9 through 230-32.

STANDARDS FOR DUPLEX AND MULTI-FAMILY GARAGES

For All Duplex & Multi-Family Garages, whether Attached or Detached no more than 2 cars per dwelling unit shall be housed with a maximum area of 528 square feet per dwelling unit.

ATTACHED GARAGES IN R-3 DUPLEX DISTRICT

ZONING CODE REQUIREMENTS

The length of the garage wall facing the street shall not exceed fifty (50) percent of the length of the street-facing building facade containing the primary entrance. For duplexes this standard applies to the street facing facades of each unit. See Illustration A.

***Exception:** For lots that are less than sixty (60) feet wide, the garage wall facing the street shall not exceed twenty-one (21) feet in length. See Illustration B.

A garage wall that faces a street shall be no closer to the street lot line than the longest street-facing wall of the dwelling unit and shall meet the minimum required setback. See Illustration C.* Where a lot has more than one street lot line, this standard must be met only on the street-facing facade on which the main entrance is located.

***Exception:** A street-facing garage wall may be up to six (6) feet in front of the longest street-facing wall of the dwelling unit, if:

- i. There is a porch at the main entrance; and
- ii. The street-facing garage wall must meet the minimum required front yard setback.

Illustration A
Length of Street-Facing Garage Wall

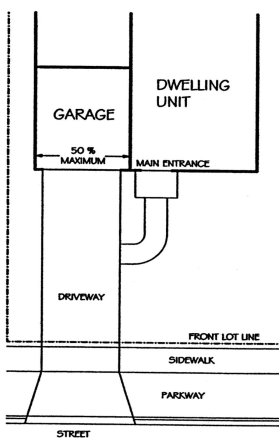


Illustration B
Length of Street-Facing Garage Wall Exception

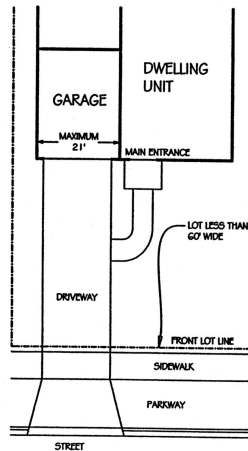
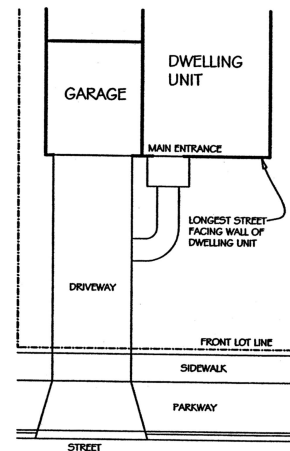


Illustration C
Street Lot Line Setback



DETACHED GARAGES

BUILDING CODE REQUIREMENTS

Concrete slab: All sod and vegetation shall be removed, a grade beam 8 inches wide, 12 inches below existing grade, and 6 inches about shall be poured monolithically with a 4 inch floor using approved wire mesh over 4 inch stone fill. Trench shall be dug down to mineral soil or as prescribed by the inspector.

2" x 4" pressure treated sill bolted to slab, bolted with nuts and washers applied every 4 feet.

Maximum spacing 24 inches on center on all stud walls.

Corner post made up of three 2" x 4".

Top plates to be doubled with splices over studs and plates at corners lapped to provide ties.

2" x 6" rafters not more than 24" on center, 2" x 8" ridge and hips.

Rafter ties at eaves not less than 2" x 6", maximum spacing 4 feet on center.

Roof sheathing shall be minimum of ½ inch exterior glue CDX grade.

Interior wall sheathing shall be a minimum of ½ gypsum.

1" x 4" sway bracing applied at all corners or 4 x 8 sheet CDX grade with exterior glue.

Composition shingles: a minimum of 235 pounds laid over 15 pound felt.

Overhead door headers: 9 feet opening two 2" x 8", 16 feet opening two 2" x 12".

Provide exterior grade service door.

Masonry garage: to comply with requirements of masonry construction.

Floor drains are not permitted in residential garages.