



Retail/Stores

Status: **ACTV**
 Area: **186**
 Address: **305 W North Ave., Villa Park, IL 60181**
 Directions: **RT. 83 AND NORTH AVE. WEST TO 305 W. NORTH AVENUE. ACROSS THE STREET FROM NORTH PARK MALL**
 List. Mkt Time: **22**
 Closed Date:
 Off Mkt Date:
 Township: **Addison**
 Zoning Type: **Retail**
 Actual Zoning: **C2**
 Subtype: **Free Standing Store**
 Lot Dimensions:
 Apx. Tot. Bldg SF:
 Land Sq Ft:
 Net Rentable Area:

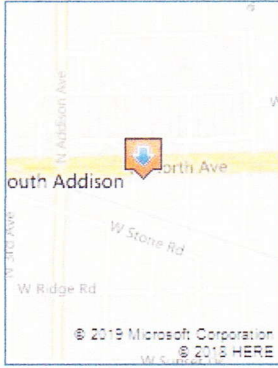
MLS #: **10331161**
 List Date: **04/04/2019**
 List Dt Rec: **04/04/2019**
 Rented Price:
 Contract:
 Concessions:
 Unincorporated:
 Subdivision:
 Year Built: **1970**
 Relist:

List Price:
 Orig List Price: **\$0**
 Sold Price:

Lease Price SF/Y: **\$17.42**
 Mthly. Rnt. Price: **\$5,950**
 CTGF:
 County: **DuPage**
 PIN #:
 Multiple PINs:
 Min Rentbl. SF: **4100**
 Max Rentbl. SF: **4100**
 Sold Price Per SF: **\$0**
 # Units: **1**
 Unit SF: **4100**
 Lease Type: **Modified Gross**
 Est Tax per SF/Y: **\$0**

Mobility Score: **42 - Fair Mobility!**

Remarks: **RETAIL SHOWROOM (4100 SQ FT with full 4100 sq ft basement) ON NORTH AVE. (76,000 CARS DAILY) ACROSS FROM THE NORTH PARK MALL.**



Frontage Acc: **Public Road, State Road**
 Current Use:
 Known Encumbrances:
 Location:
 # Drive in Doors: **0**
 # Trailer Docks: **0**
 Ceiling Height: **12**

Construction: **Brick, Concrete, Concrete Block, Steel, Stone, Pre-cast**
 Exterior: **Brick, Block, Glass**
 Foundation: **Concrete**
 Roof Structure: **Flat**
 Roof Coverings:
 Docks:
 Misc. Outside:
 # Parking Spaces: **28**
 Indoor Parking:
 Outdoor Parking: **19-30 Spaces**
 Parking Ratio:
 Extra Storage Space Available: **Yes**
 Misc. Inside: **Basement**
 Floor Finish: **Concrete, Tile**

Air Conditioning: **Central Air**
 Electricity: **201-600 Amps**
 Heat/Ventilation: **Forced Air**
 Fire Protection: **Partially Sprinklered**
 Water Drainage:
 Utilities To Site:
 Tenant Pays: **Electric, Heat, Insurance, Scavenger, Water/Sewer**
 HERS Index Score:
 Green Disc:
 Green Rating Source:
 Green Feats:
 Backup Info:
 Sale Terms:
 Possession:

Financial Information

Gross Rental Income: **\$0**
 Annual Net Operating Income: **\$0**
 Real Estate Taxes: **\$8,800**
 Tax Year: **2017**
 Special Assessments: **No**
 Fuel Expense (\$/src): **/**
 Trash Expense (\$/src): **/**

Individual Spaces (Y/N): **Yes**
 Total Income/Month:
 Net Operating Income Year:
 Total Annual Expenses: **\$0**
 Expense Source:
 Frequency: **Not Applicable**
 Electricity Expense (\$/src): **/**
 Insurance Expense (\$/src): **/**

Total Building (Y/N): **No**
 Total Income/Annual: **\$0**
 Cap Rate:
 Expense Year:
 Loss Factor:
 Water Expense (\$/src): **/**
 Other Expense (\$/src): **/**

Broker: **Bradley Partners**
 List Broker: **David Bradley**
 CoList Broker:

Ph #: **(630) 968-6005**
 Ph #: **(630) 675-8472**
 Ph #:

Team:
 Email: **davebradley76@gmail.com**
 More Agent Contact Info:

Copyright 2019 MRED LLC - INFORMATION NOT GUARANTEED, REQUEST ADDITIONAL INFORMATION FROM BROKER, INVESTIGATE ENVIRONMENTAL. USE DUE DILIGENCE.

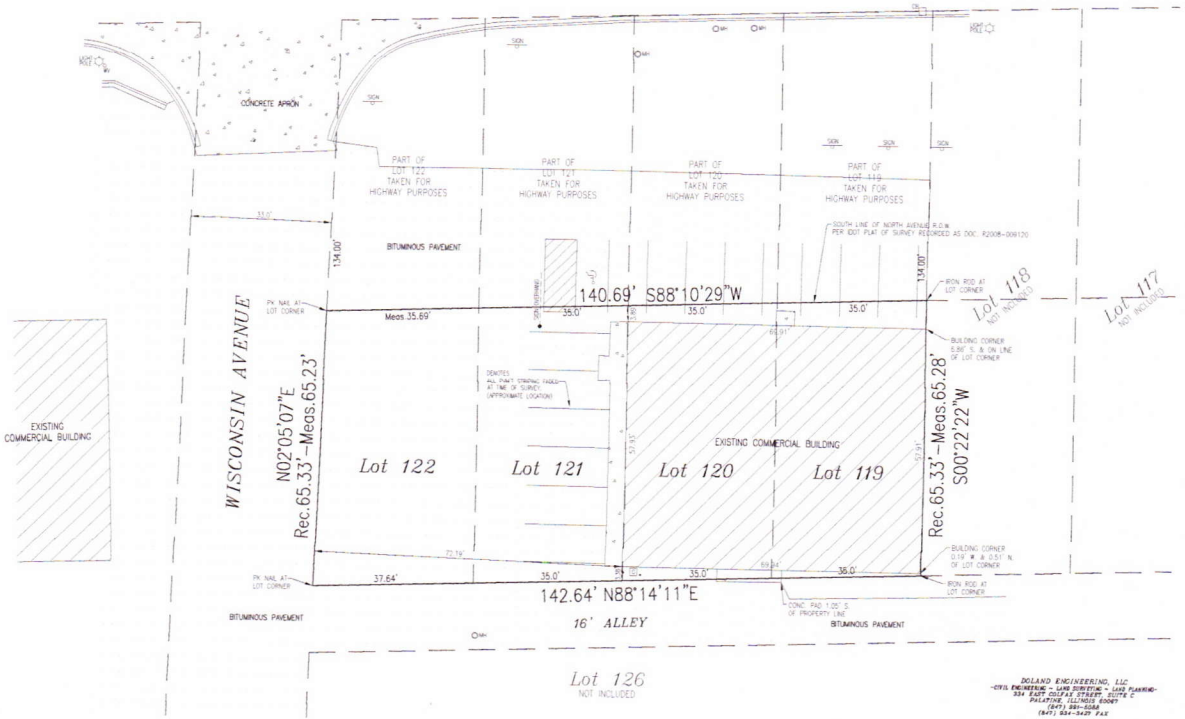
PLAT OF SURVEY

-OF-

LOTS 119, 120, 121 AND 122, (EXCEPT THAT PART TAKEN FOR HIGHWAY PURPOSES) IN ADLER'S NORTH AVENUE ADDITION TO VILLA PARK, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 13, 1924, AS DOCUMENT 178958, IN DUPAGE COUNTY, ILLINOIS.
COMMONLY KNOWN AS: 751 N. WASHINGTON AVENUE (aka 325 N. NORTH AVE.), VILLA PARK, ILLINOIS.



NORTH AVENUE



THE PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS UNIFORM STANDARDS FOR A BOUNDARY SURVEY.
COMPARE YOUR POINTS BEFORE BUILDING BY THE SAME AND REPORT ANY DIFFERENCES IMMEDIATELY.
CHECK LEGAL DESCRIPTION WITH DEED AND REPORT ANY DISCREPANCY IMMEDIATELY. REFER TO TITLE PLAT OR PLAT FOR POSSIBLE ADDITIONAL EASEMENTS OF BUILDING LINES AND SHOW HEREON.
DATE OF PLATING, ILLINOIS: 11/02/15



DOLAND ENGINEERING, LLC
SURVEYING - LAND SURVEYING - LAND PLANNING
1845 COLLEGE STREET - SUITE 200
PALM SPRING, ILLINOIS 60077
(815) 381-2548
(815) 381-2549 FAX